

**City of Cranston  
Zoning Board of Review  
Application**

Application for exception or variation under the zoning ordinance "City of Cranston Zoning Code, December 1994 Edition as amended."

To: Cranston Zoning Board of Review  
35 Sockanosset Crossroad Suite 6  
Cranston, RI 02920

Date: 08/04/2023

THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIEW FOR AN EXCEPTION OR A VARIATION IN THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONING ORDINANCE AFFECTING THE FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROUNDS HEREINAFTER SET FORTH.

OWNER: SUSAN P SPARKS & MATTHEW P ALDRED JT

ADDRESS: 15 TAFT ST., CRANSTON ZIP CODE: 02905

APPLICANT: DAVID SISSON ARCHITECTURE

ADDRESS: 345 TAUNTON AVE EAST PROVIDENCE RI ZIP CODE: 02914

LESSEE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

1. ADDRESS OF PROPERTY: 15 TAFT ST., CRANSTON

2. ASSESSOR'S PLAT #: 2-5 BLOCK #: \_\_\_\_\_ ASSESSOR'S LOT #: 2820 WARD: \_\_\_\_\_

3. LOT FRONTAGE: 40.09' LOT DEPTH: 86' LOT AREA: 3,467 SF

4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: A6 6,000 SF 35'  
(ZONE) (AREA LIMITATION) (HEIGHT LIMITATION)

5. BUILDING HEIGHT, PRESENT: 23' - 7" PROPOSED: 23' - 7"

6. LOT COVERAGE, PRESENT: 1,741 SF PROPOSED: 1,858.9 SF

7. HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? 2 YEARS (SINCE 05/11/2021)

8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? YES

9. GIVE SIZE OF EXISTING BUILDING(S): HOUSE: 45'-10" X 28'-3"; GARAGE: 18'-10" X 10'-4"

10. GIVE SIZE OF PROPOSED BUILDING(S): HOUSE: 47'-8" X 28'-3"; GARAGE: 20'-0" X 14'-0"

11. WHAT IS THE PRESENT USE? SINGLE FAMILY

12. WHAT IS THE PROPOSED USE? SINGLE FAMILY

13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: 1

14. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: \_\_\_\_\_

NEW GARAGE WITH WALKABLE DECK ON TOP,  
HOME ADDITION AND CONNECTION TO NEW GARAGE

15. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? NO

16. WERE YOU REFUSED A PERMIT? \_\_\_\_\_

17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.

17.20.120 - Schedule of intensity regulations.

18. STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE: \_\_\_\_\_

SEE ATTACHED

SIGNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.

RESPECTFULLY SUBMITTED,

[Signature]  
(OWNER SIGNATURE)

401-935-1495  
(PHONE NUMBER)

[Signature]  
(OWNER SIGNATURE)

401-633-2392  
(PHONE NUMBER)

[Signature]  
(APPLICANT SIGNATURE)

401-595-7070  
(PHONE NUMBER)

\_\_\_\_\_  
(LESSEE SIGNATURE)

\_\_\_\_\_  
(PHONE NUMBER)

\_\_\_\_\_  
(ATTORNEY SIGNATURE)

\_\_\_\_\_  
(PHONE NUMBER)

\_\_\_\_\_  
(ATTORNEY NAME-PLEASE PRINT)

ATTORNEY ADDRESS: \_\_\_\_\_

PRE-ZONING APPLICATION MEETING:

\_\_\_\_\_  
(PLANNING DEPT. SIGNATURE)

\_\_\_\_\_  
(DATE)

The proposal for this project is to demolish an existing detached garage and replace it with a new attached garage which is slightly larger. This new garage will include a connection from the basement to the garage, and also a rooftop deck. The goal of this project is to create an easy way for the owners to move their bicycles from the basement of the home to the garage and street (they enjoy riding bicycles and use the basement as bicycle storage and repair area for their many bicycles) and also so they owners can enjoy some additional amenity space above the garage.

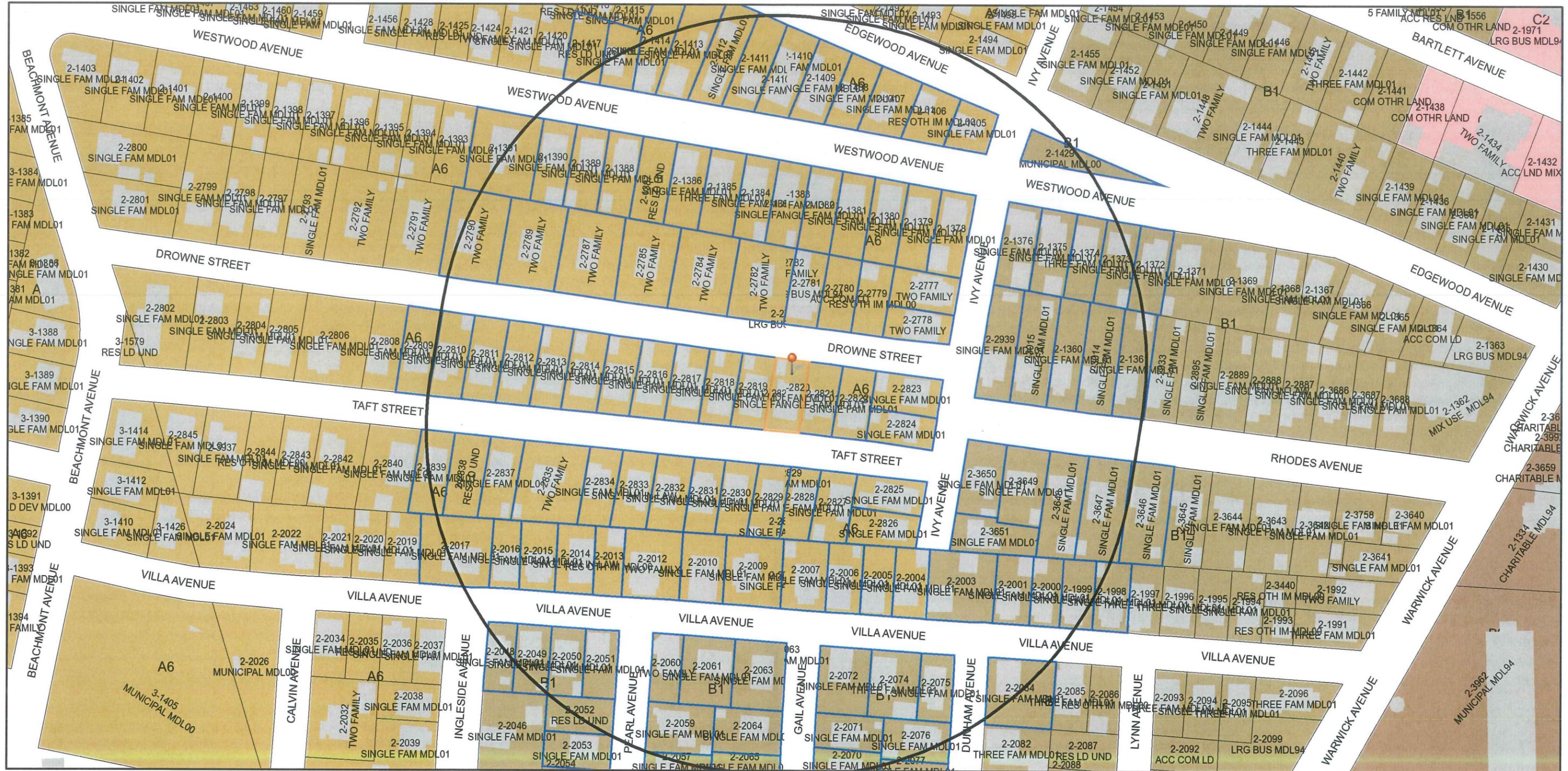
The existing garage is very small and in rough condition. It is too small to store a modern automobile. The proposed garage is also small, but large enough to store a small modern automobile.

The lot and house are pre existing and have been there for a long time. The applicant here only proposes to replace an existing detached garage with a slightly larger attached garage and slightly increase the existing lot coverage.

A garage is a typical amenity enjoyed by many homes in the zone, neighborhood and town.

The hardship is due to the undersized lot and the unique nature of the lot being a through lot, fronting on two streets. Because the structure is existing, and has been for a very long time, the hardship is not the result of the prior action of the applicant and does not result primarily from the desire of the application to realize greater financial gain. Further as an existing building and looking at the surrounding properties and structures on nearby lots, the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of this chapter or the City of Cranston Comprehensive Plan upon which said chapter is based. The applicant is requesting the least relief necessary as the applicant proposes to use the existing setbacks at the rear and side, and work to meet the Zoning ordinance as close as they can with the reality of the building and lot they own. Finally, the hardship that will be suffered by the owner of the subject property if the variance is not granted shall amount to more than a mere inconvenience as the project would not be viable.

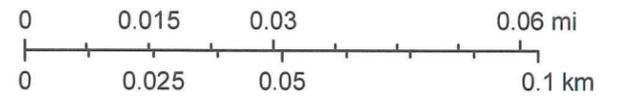
# 15 Taft St 400' Radius Plat 2 Lot 2820



5/22/2023, 8:19:55 AM

- |                       |  |                           |  |     |  |    |  |       |
|-----------------------|--|---------------------------|--|-----|--|----|--|-------|
| UserSelectedParcels   |  | Parcels                   |  | A80 |  | B2 |  | M1    |
| vParcels_Buffer       |  | Buildings                 |  | A20 |  | C1 |  | M2    |
| ParcelsInBufferOutput |  | Zoning Dimensions         |  | A12 |  | C2 |  | EI    |
| Parcel ID Labels      |  | Historic Overlay District |  | A8  |  | C3 |  | MPD   |
| Streets Names         |  | <b>Zoning</b>             |  | A6  |  | C4 |  | S1    |
| Cranston Boundary     |  | none                      |  | B1  |  | C5 |  | Other |

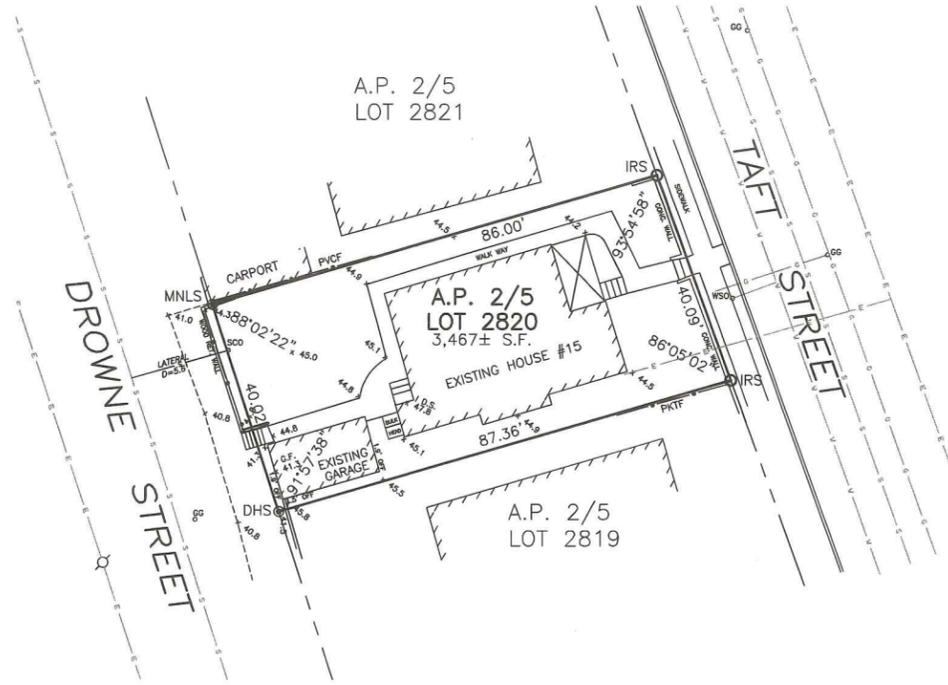
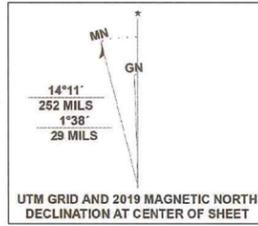
1:1,384



City of Cranston

**STREET INDEX:**  
 PER R.I.G.L. 34-13-1  
 TAFT STREET  
 DROWNE STREET

**MAGNETIC  
 JAN. 2023**



**EROSION CONTROL NOTES:**

**EROSION CONTROL PROGRAM**  
 PRIOR TO START OF CONSTRUCTION, HAYBALES, SILT FENCES & ALL OTHER SPECIFIED EROSION CONTROL FENCES SHALL BE IN PLACE. CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPES & STREAMS SHALL BE PROTECTED AS PER PLAN AND, IN THE PRESENCE OF WETLANDS, THE CONDITIONS OF THE ASSENT ORDER SHALL BE ADHERED TO. THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS.

**SEDIMENTATION CONTROL PROGRAM**  
 ALL EXPOSED SLOPES, INCLUDING STOCKPILES OF MATERIAL, SHALL RECEIVE TEMPORARY SEDIMENTATION & EROSION CONTROLS. THIS WILL INCLUDE LOAMING & SEEDING, MULCHING, HAYMATS, ETC TO STABILIZE THE AREA. ALL DRAINAGE STRUCTURES SHALL BE SURROUNDED BY HAYBALES TO PREVENT INFILTRATION OF SEDIMENTS.

SHOULD SEDIMENTS ENTER A CRITICAL AREA (WETLAND, BUFFER ZONE, ABUTTING PROPERTY) THE CONTRACTOR SHALL IMMEDIATELY CLEAN & RESTORE THE EFFECTED AREA.

- GENERAL NOTES**
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY & ALL PERMITS REQUIRED BY THE STATE & THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.
  - IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DOCUMENT EXISTING CONDITIONS OF SURROUNDING PROPERTIES & TO MAINTAIN THE INTEGRITY OF SAME. ANY DAMAGE TO & THE COST OF REPAIRS OF UTILITIES, ROADWAYS, STRUCTURES & SURROUNDING PROPERTY SHALL BE FULLY BORNE BY THE CONTRACTOR.
  - ALL WORKMANSHIP & MATERIALS SHALL MEET OR EXCEED THE LATEST STANDARDS OF THE MUNICIPALITY, AND THE LATEST STATE STANDARDS & SPECIFICATION PUBLISHED FOR ROAD & BRIDGE CONSTRUCTION.
  - CONTACT DIG-SAFE & UTILITY COMPANIES FOR EXACT ON-SITE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
  - CONTRACTOR SHALL OBTAIN REQUIRED INSPECTION SCHEDULE OF THE MUNICIPALITY, UTILITY COMPANIES & ALL OTHER REQUIRED PARTIES & SHALL STRICTLY ADHERE TO THOSE REQUIREMENTS.
  - ALL CONTRACTORS SHALL ADHERE TO ALL CONDITIONS OF CONSTRUCTION APPROVALS & SHALL KEEP A COPY OF ALL APPROVALS ON-SITE DURING CONSTRUCTION. CONTRACTOR SHALL READ ALL APPROVALS PRIOR TO START OF CONSTRUCTION & SHALL CLARIFY ANY QUESTIONS BEFOREHAND.
  - THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE. THIS PLAN SHOWS GENERAL GRADING ONLY AND ADDITIONAL DETAIL IS LIKELY TO BE REQUIRED AROUND THE BUILDING.

**UTILITY NOTE:**

ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION PROVIDED. CONTACT ALL LOCAL UTILITY COMPANIES AND DIG SAFE (1-800-DIG-SAFE) PRIOR TO ANY CONSTRUCTION.

**GENERAL NOTES:**

ANY USE, APPROPRIATION, COPYING, DUPLICATION, ADAPTATION, OR MODIFICATION OF THIS PLAN WITHOUT THE PRIOR WRITTEN CONSENT OF ATLAS LAND SURVEYING, LLC IS STRICTLY PROHIBITED, AND THE SAME SHALL CONSTITUTE A COPYRIGHT INFRINGEMENT. THIS PLAN HAS BEEN PREPARED FOR EXCLUSIVE USE BY THIS CLIENT AND FOR A SINGLE USE AND A SINGLE PURPOSE ONLY. BY ACCEPTING THIS PLAN, THE CLIENT AGREES TO THE ABOVE TERMS.

UNDERGROUND UTILITY LOCATIONS AS SHOWN HEREON ARE TAKEN FROM AVAILABLE RECORD AND FIELD INFORMATION AND ARE APPROXIMATE ONLY. NO ONE SHOULD RELY ON THE UTILITY LOCATIONS SHOWN FOR CONSTRUCTION AND DIG SAFE SHOULD BE NOTIFIED PRIOR TO ANY WORK BEING STARTED.

**FLOOD ZONE NOTE:**

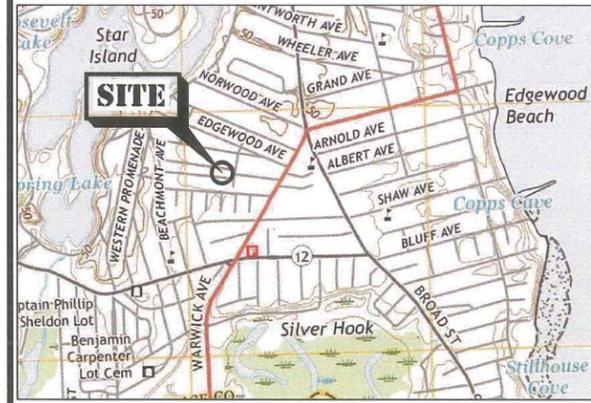
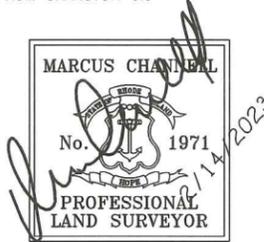
THIS LOT LIES WITH ZONE "X" ON MAP 44007C0319J  
 PANEL EFFECTIVE DATE: 10/2/2015

**DATUM NOTE:**

BENCHMARK ELEVATION IS ON NAVD88 FROM CRANSTON GIS

**LEGEND:**

- GBF - GRANITE BOUND FOUND
- IRS - IRON ROD SET
- IRF - IRON ROD FOUND
- DHF - DRILL HOLE FOUND
- DHS - DRILL HOLE SET
- IPF - IRON PIPE FOUND
- MNLS - MAG. NAIL SET
- PKTF - PICKET FENCE
- PVCF - PVC FENCE
- GG - GAS GATE
- WSO - WATER SHUT OFF
- x ## - SPOT GRADE



**LOCUS - NOT TO SCALE**

**REFERENCES:**

- DEED BOOK 6242 PAGE 158
- "AMMENDED PLAT LOCKWOOD LOT" BY J.A. LATHAM MARCH 1909 PLAT CARD 187

**ZONING DISTRICT: A-6**

MINIMUM AREA - 6,000 SF  
 MINIMUM FRONTAGE - 60'  
 MINIMUM SETBACKS:  
 FRONT - 25'  
 SIDE - 8' (5' ACCESSORY)  
 REAR - 20' (5' ACCESSORY)

\*THIS LOT IS COMPRISED OF A PRE-EXISTING NON-CONFORMING LOT OF RECORD.

**SURVEY CERTIFICATION:**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOV. 25, 2015, AS FOLLOWS:  
 TYPE OF SURVEY: PERIMETER SURVEY  
 MEASUREMENT SPECIFICATION: CLASS I  
 DATA ACCUMULATION - TOPOGRAPHY CLASS III  
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
 SURVEY PROPERTY & PREPARE PLAN FOR PROPOSED NEW GARAGE.

BY: *Marcus Channell* DATE: 2/14/2023  
 MARCUS CHANNELL, P.L.S. #1971 (LS-A479)

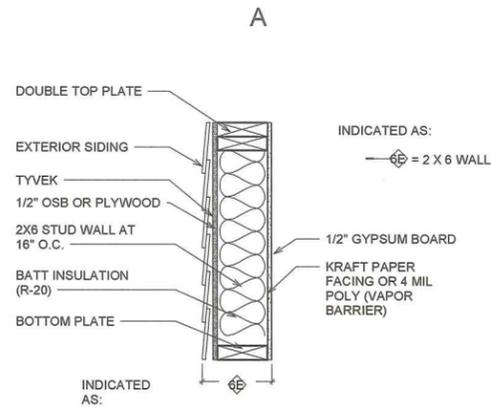
DATE:	14 FEB 2023			
DRAWN BY:	MC			
SCALE:	1" = 20'			
SHEET	1 OF 1 SHEETS			
JOB NO.:	23-0130			
DWG.	23-0130 PLAN	NO.	DATE	REVISION
				BY

**PLAN OF SURVEY**  
 ASSESSOR'S PLAT 2/5 - LOT 2820  
 15 TAFT STREET ~ CRANSTON, RI  
 PREPARED FOR:  
 SUSAN P. SPARKS & MATTHEW P. ALDRED

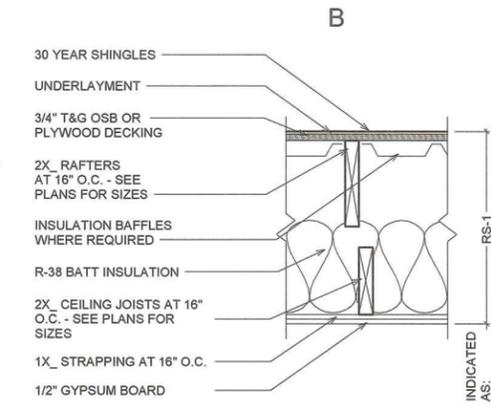
**ATLAS**  
 LAND SURVEYING  
 12 Chapmans Avenue ~ Warwick, RI 02886  
 www.atlaslandsurveying.com  
 401-737-4407

RHODE ISLAND GENERAL LAWS: 11-22-1 & 11-44-11 FORBID THE REMOVAL OR DESTRUCTION OF ANY HIGHWAY MARKER OR PRIVATE SURVEY MARKER. PENALTY IS \$500 AND/OR UP TO ONE YEAR IN JAIL.

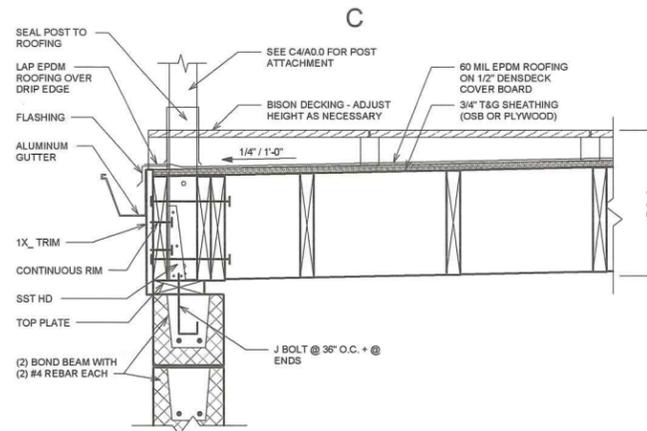
ATLAS LAND SURVEYING, LLC. COPYRIGHTED MATERIALS 2023



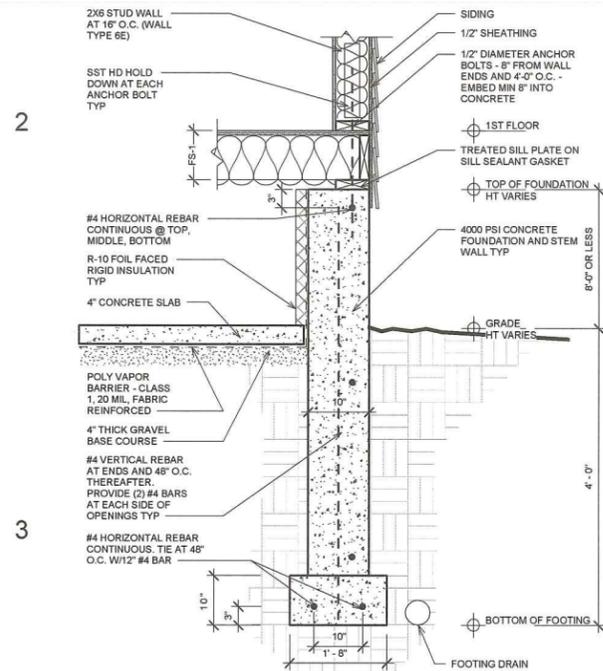
**A1** EXTERIOR WALL SYSTEM 1  
1 1/2" = 1'-0"



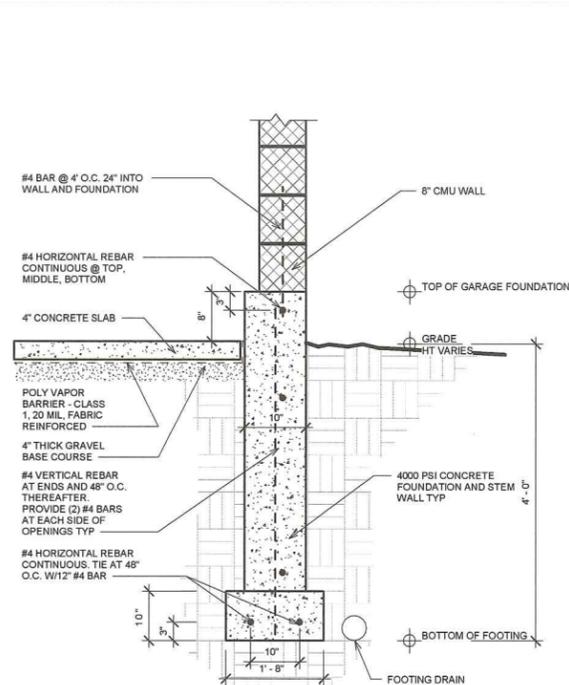
**B1** RS-1 ROOF SYSTEM 1  
1 1/2" = 1'-0"



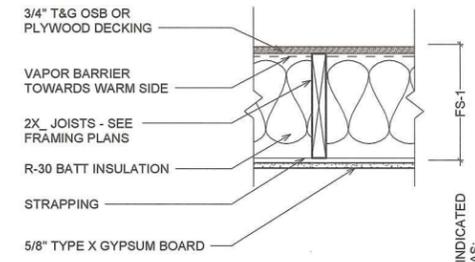
**C1** RS-2 ROOF SYSTEM 2  
1 1/2" = 1'-0"



**A3** FOUNDATION DETAIL AT EXCAVATED FOOTING  
1" = 1'-0"



**B3** FOUNDATION DETAIL AT GARAGE  
1" = 1'-0"



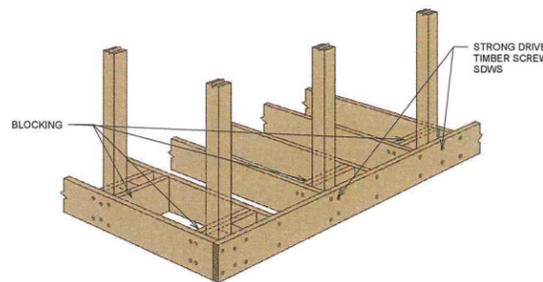
**C2** FS-1 FLOOR SYSTEM 1  
1 1/2" = 1'-0"

**ARCHITECTURAL SYMBOLS**

	REVISION TAG		ELEVATION
	CEILING TAG WITH HEIGHT		PROJECT NORTH TAG
	COLUMN GRID TAG		ROOM IDENTIFICATION
	WALL TAG		SECTION
	WINDOW TAG		DETAIL ENLARGEMENT
	DOOR TAG		
	KEY NOTE TAG		
	BENCHMARK HEIGHT		



**VICINITY MAP**



**C3** GUARDRAIL POST ATTACHMENT DETAIL  
3/4" = 1'-0"

**ARCHITECT**

DAVID SISSON ARCHITECTURE PC  
345 TAUNTON AVE  
EAST PROVIDENCE RI 02914  
TEL: 401-595-7070  
DAVE@DS-ARCH.COM

**SURVEYOR**

ATLAS LAND SURVEYING  
12 CHAPMANS AVE  
WARWICK RI 02886  
TEL: 401-737-4407  
WWW.ATLASLANDSURVEYING.COM

**Sheet List**

Sheet Number	Sheet Name
A0.0	COVER SHEET
A0.1	SITE PLAN
A4.0	PLAN BASEMENT
A4.1	PLAN 1ST FL
A4.2	PLAN - ROOF
A5.0	ELEVATIONS
A5.1	ELEVATIONS
AXX	PHOTOS

**PROJECT INFORMATION**

ASSESSORS PLAT # 2-5  
ASSESSORS LOT # 2820  
LOT SIZE: 3,467 SF

STREET ADDRESS: 15 TAFT ST., CRANSTON RI 02905

**OWNER:**  
SUSAN P SPARKS & MATTHEW P ALDRED JT  
15 TAFT ST.,  
CRANSTON RI 02905

**YEAR BUILT:** 1928

**NARRATIVE SCOPE OF WORK:** NEW GARAGE WITH WALKABLE DECK, HOME ADDITION AND CONNECTION TO NEW GARAGE

**TYPE OF CONSTRUCTION:** SB

**BUILDING USE / OCCUPANCY:** R3 (RESIDENTIAL, 1 UNIT)

**BASE ZONING DISTRICT:** A6  
**OVERLAY ZONING DISTRICT:** NONE

**PROPOSED LIVING UNITS:** 1

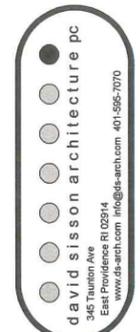
- CODES:**
- 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS
  - RHODE ISLAND ONE AND TWO FAMILY DWELLING CODE
  - 2018 INTERNATIONAL FIRE CODE
  - RHODE ISLAND FIRE SAFETY CODE
  - 2018 INTERNATIONAL ENERGY CONSERVATION CODE
  - SBC-8 RHODE ISLAND STATE ENERGY CONSERVATION CODE
  - 2018 INTERNATIONAL PLUMBING CODE
  - SBC-3 RHODE ISLAND STATE PLUMBING CODE
  - 2018 INTERNATIONAL MECHANICAL CODE
  - SBC-4 RHODE ISLAND STATE MECHANICAL CODE
  - SBC-5 RHODE ISLAND STATE ELECTRICAL CODE
  - NFPA 70: NATIONAL ELECTRICAL CODE (NEC)
  - 2018 INTERNATIONAL FUEL GAS CODE
  - CRANSTON ZONING ORDINANCE

**ENERGY CODE INFORMATION**

**EXISTING ALTERATION**  
FILL EXPOSED WALL, CEILING, AND FLOOR CAVITIES WITH INSULATION

**NEW CONSTRUCTION (IECC 2018)**

- |                   |                                               |
|-------------------|-----------------------------------------------|
| CEILING:          | R-49 INSULATION                               |
| WALL INSULATION:  | R-20 BATT INSULATION                          |
| BASEMENT WALL:    | R-15 RIGID INSULATION OR R-19 BATT INSULATION |
| FLOOR INSULATION: | R-30 BATT INSULATION                          |
| WINDOWS:          | U-VALUE 0.30 OR BETTER                        |
| ENTRANCE DOORS:   | U-VALUE 0.37 OR BETTER                        |



A

B

C

D

1

ZONING TABLE

PLAT = 2-5  
LOT = 2820

ZONE = A6

OWNER: SUSAN P SPARKS & MATTHEW P ALDRED JT  
OWNER ADDRESS: 15 TAFT ST., CRANSTON RI 02905  
OWNER PHONE:

ITEM	REQUIRED	PROVIDED	RELIEF REQUESTED?
LOT SIZE	6,000 SF	3,467 SF	YES
FRONTAGE	60'	40.00' EXISTING	YES
MAXIMUM LOT COVERAGE	30% (1,040.1 SF)	37.1% (1,285 SF) EXISTING	
	30% (1,040.1 SF)	39.3% (1,363 SF) PROPOSED	YES
PRINCIPAL FRONT SETBACK	25'	16' - 1 1/2" EXISTING	YES
FRONT SETBACK	25'	1' - 6" EXISTING	YES
SIDE SETBACK	8'	6' - 11 1/2" EXISTING	YES
SIDE SETBACK	8'	2' - 0" EXISTING	YES
HEIGHT	35'	APPROX. 23' - 7" EXISTING	NO

MAXIMUM LOT COVERAGE CALCULATIONS - EXISTING (SF)

EXISTING HOUSE	989
EXISTING GARAGE	195
EXISTING PORCH	87
EXISTING BULK HEAD	14
TOTAL:	1,285 SF

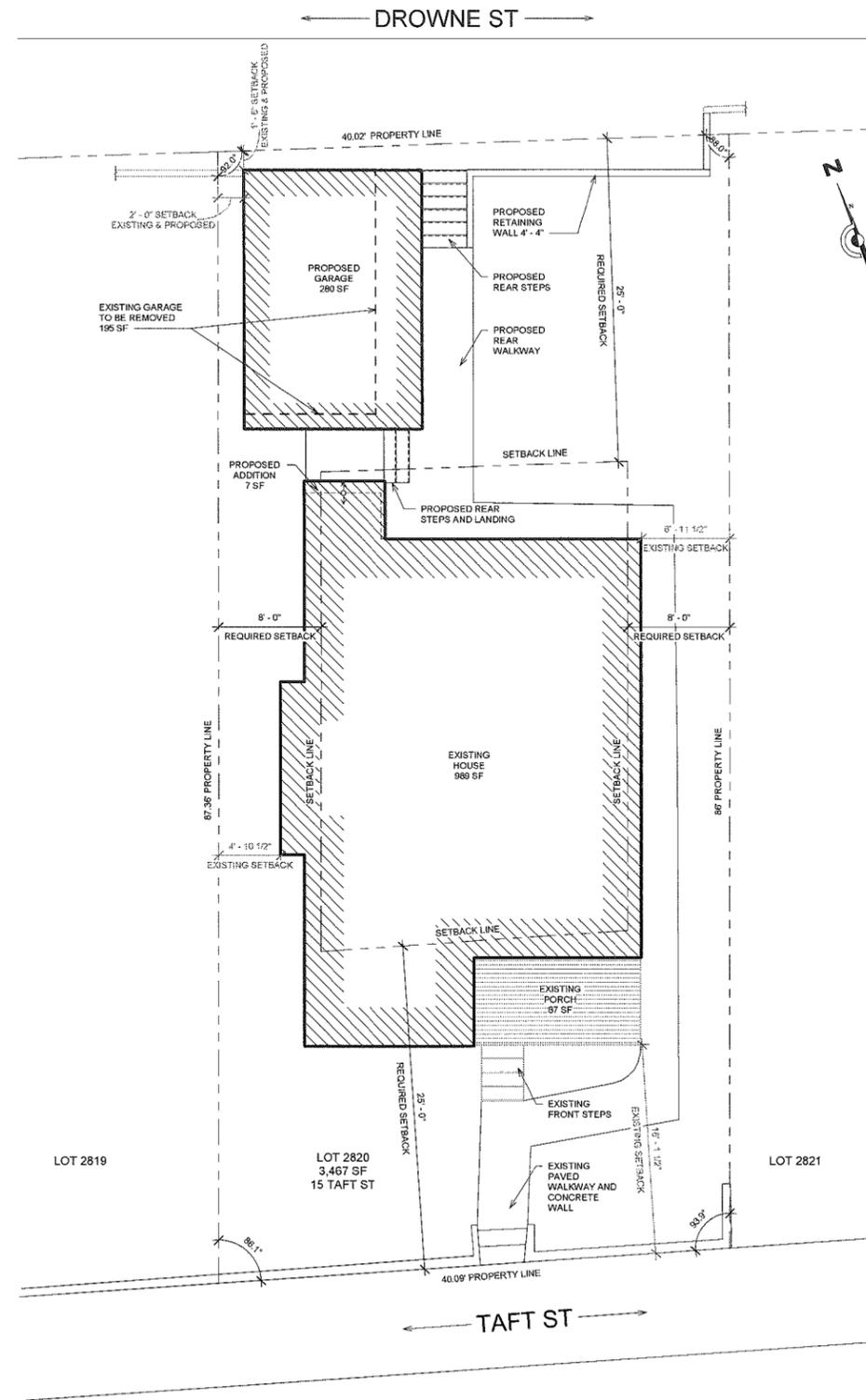
MAXIMUM LOT COVERAGE CALCULATIONS - PROPOSED (SF)

EXISTING HOUSE	989
PROPOSED ADDITION	7
PROPOSED GARAGE	280
EXISTING PORCH	87
TOTAL:	1,363 SF

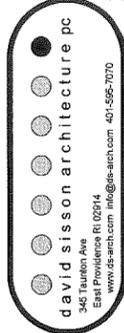
2

3

4



© SITE - PROPOSED  
3/16" = 1'-0"



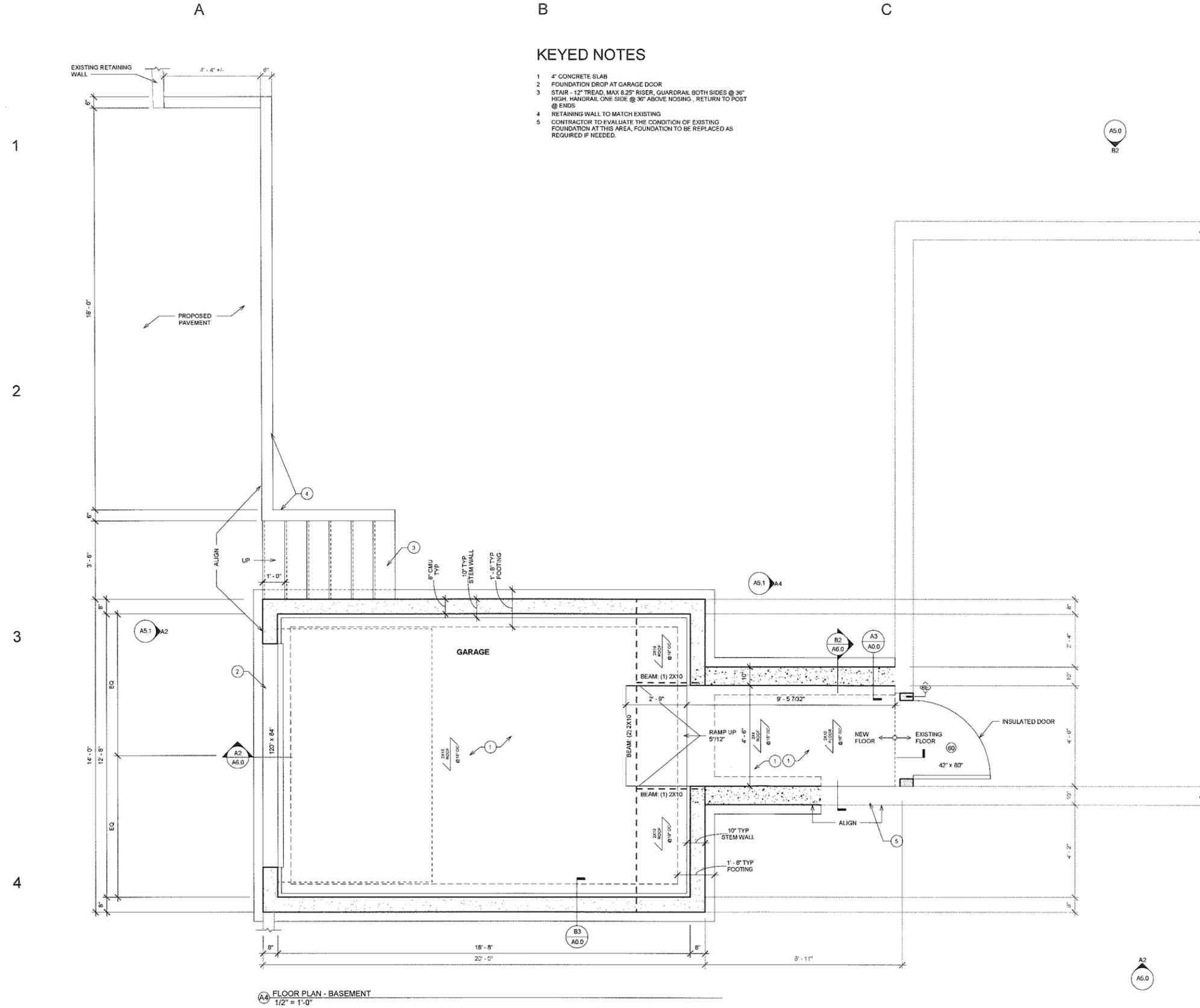
REV.#	DATE	ISSUED FOR:
	2023-08-09	ZONING

15 Taft St  
Cranston, RI 02905  
PROJECT NUMBER: 22074

SITE PLAN

NOT FOR  
CONSTRUCTION  
REVIEW  
ONLY

A0.1



**A4** FLOOR PLAN - BASEMENT  
1/2" = 1'-0"

**KEYED NOTES**

- 1 4" CONCRETE SLAB
- 2 FOUNDATION DROP AT GARAGE DOOR
- 3 STAIR - 12" TREAD, MAX 3.25" RISER, GUARDRAIL BOTH SIDES @ 36" HIGH, HANDRAIL ONE SIDE @ 36" ABOVE NOSING, RETURN TO POST @ ENDS
- 4 RETAINING WALL TO MATCH EXISTING
- 5 CONTRACTOR TO EVALUATE THE CONDITION OF EXISTING FOUNDATION AT THIS AREA, FOUNDATION TO BE REPLACED AS REQUIRED IF NEEDED.

**PLAN LEGEND**

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- DIMENSION TO THE FACE OF FRAMING OR MASONRY AT NEW CONSTRUCTION, TYP.
- DIMENSION TO THE FACE OF FINISH AT EXISTING CONSTRUCTION
- DIMENSION TO THE FACE OF FINISH
- COLUMN LOCATION
- CARBON MONOXIDE DETECTOR - HARDWIRED AND INTERCONNECTED
- SMOKE DETECTOR - HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR - HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR 60 MIN W/ CLOSER

**GENERAL NOTES**

1. VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.
2. ALL INTERIOR WALLS 2X4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE B4/A0.0
3. ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
5. PROVIDE HARDWIRED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
6. PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
7. PATCH AND REPAIR EXISTING WALLS LOCATED IN UNALTERED AREAS AFFECTED BY ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT.
8. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, FLOORS, CEILINGS & TRIM THROUGHOUT REPLACE MATERIALS IN-KIND WHEN DAMAGED PAST POINT OF REPAIR.
9. PLANS DO NOT FULLY REPRESENT ALL NEW WORK. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO SERVE AS GENERAL GUIDELINES.
10. DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
11. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE POWER FOR ALL APPLIANCES. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
12. PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS
13. HVAC SYSTEM TO BE DESIGN BUILD, PROVIDE PER STATE CODE REQUIREMENTS.
14. PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
15. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
16. INSTALL BATT INSULATION FULL DEPTH AT ALL EXPOSED STUD CAVITIES (CLOSED CELL SPRAY FOAM AT ATTIC ROOF CAVITIES)
17. COVER ALL WALLS AND CEILINGS W/1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
18. PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT BATHROOMS UNLESS NOTED OTHERWISE.
19. ALL APPLIANCES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
20. RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
21. PROVIDE DIMMERS AS DIRECTED BY OWNER
22. AV, CATV, TELEPHONE AND OTHER LOW VOLTAGE WIRING NOT SHOWN. SYSTEM TO BE DESIGN/BUILD. CONTACT OWNER FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.

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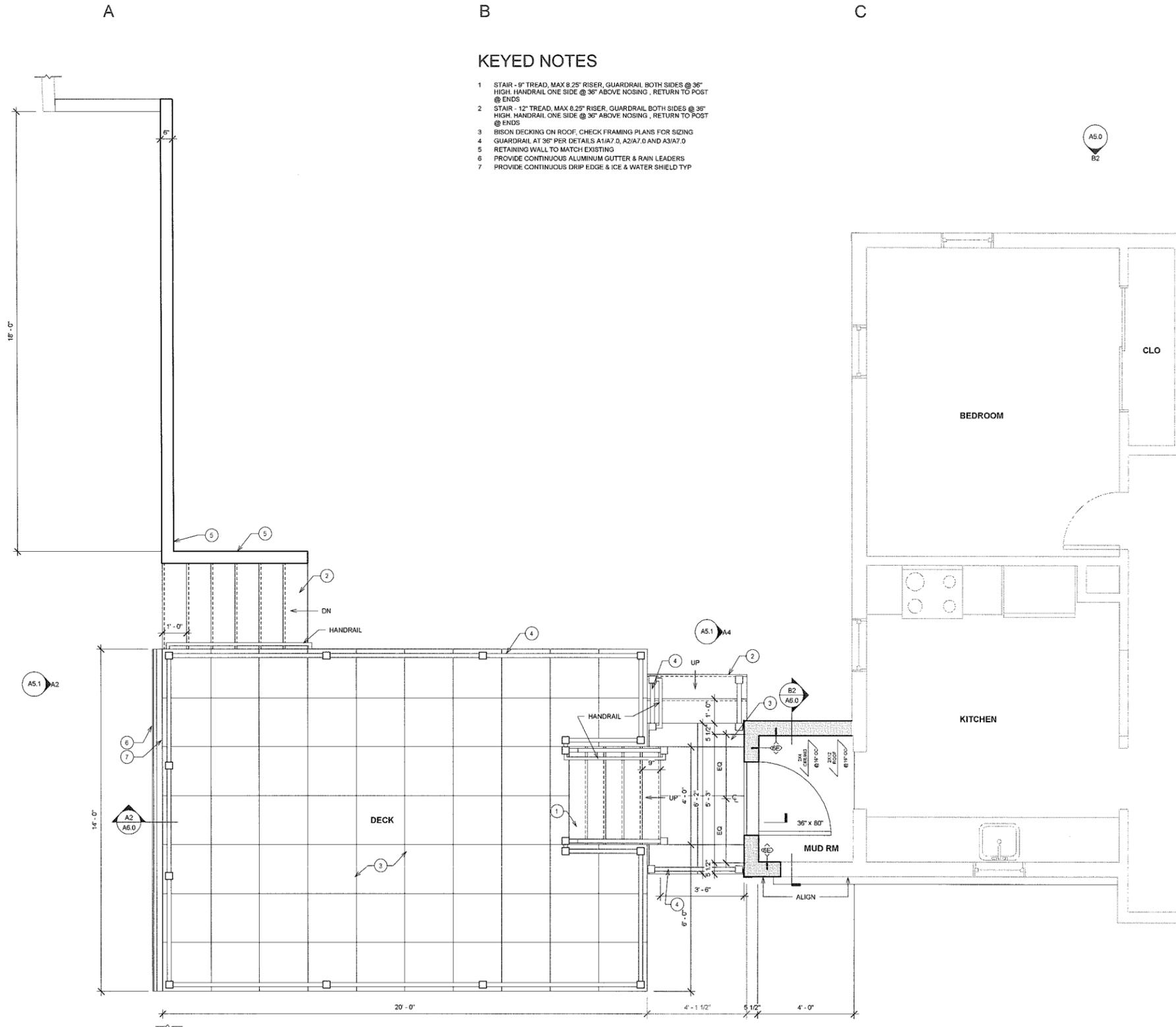
15 Taft St  
Cranston, RI 02905  
PROJECT NUMBER: 22074

PLAN BASEMENT

NOT FOR CONSTRUCTION ZONING REVIEW ONLY

A4.0

1  
2  
3  
4



A4 FLOOR PLAN - 1ST FL  
1/2" = 1'-0"

KEYED NOTES

- 1 STAIR - 9" TREAD, MAX 8.25" RISER, GUARDRAIL BOTH SIDES @ 36" HIGH, HANDRAIL ONE SIDE @ 36" ABOVE NOSING, RETURN TO POST @ ENDS
- 2 STAIR - 12" TREAD, MAX 8.25" RISER, GUARDRAIL BOTH SIDES @ 36" HIGH, HANDRAIL ONE SIDE @ 36" ABOVE NOSING, RETURN TO POST @ ENDS
- 3 BISON DECKING ON ROOF, CHECK FRAMING PLANS FOR SIZING
- 4 GUARDRAIL AT 36" PER DETAILS A1A7.0, A2A7.0 AND A3A7.0
- 5 RETAINING WALL TO MATCH EXISTING
- 6 PROVIDE CONTINUOUS ALUMINUM GUTTER & RAIN LEADERS
- 7 PROVIDE CONTINUOUS DRIP EDGE & ICE & WATER SHIELD TYP

PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- DIMENSION TO THE FACE OF FRAMING OR MASONRY AT NEW CONSTRUCTION, TYP.
- DIMENSION TO THE FACE OF FINISH AT EXISTING CONSTRUCTION
- DIMENSION TO THE FACE OF FINISH
- COLUMN LOCATION
- CARBON MONOXIDE DETECTOR - HARDWIRED AND INTERCONNECTED
- SMOKE DETECTOR - HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR - HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR 60 MIN W/ CLOSER

GENERAL NOTES

1. VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.
2. ALL INTERIOR WALLS 2X4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE B4/A0.0
3. ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
5. PROVIDE HARDWIRED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
6. PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
7. PATCH AND REPAIR EXISTING WALLS LOCATED IN UNALTERED AREAS AFFECTED BY ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT.
8. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, FLOORS, CEILINGS & TRIM THROUGHOUT REPLACE MATERIALS IN-KIND WHEN DAMAGED PAST POINT OF REPAIR.
9. PLANS DO NOT FULLY REPRESENT ALL NEW WORK. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO SERVE AS GENERAL GUIDELINES.
10. DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
11. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE POWER FOR ALL APPLIANCES. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
12. PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS
13. HVAC SYSTEM TO BE DESIGN BUILD, PROVIDE PER STATE CODE REQUIREMENTS.
14. PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
15. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
16. INSTALL BATT INSULATION FULL DEPTH AT ALL EXPOSED STUD CAVITIES (CLOSED CELL SPRAY FOAM AT ATTIC ROOF CAVITIES)
17. COVER ALL WALLS AND CEILINGS W/ 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
18. PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT BATHROOMS UNLESS NOTED OTHERWISE.
19. ALL APPLIANCES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
20. RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
21. PROVIDE DIMMERS AS DIRECTED BY OWNER
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15 Taft St  
Cristiano, RI 02905  
PROJECT NUMBER: 22074

PLAN 1ST FL

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A4.1

A

B

C

D

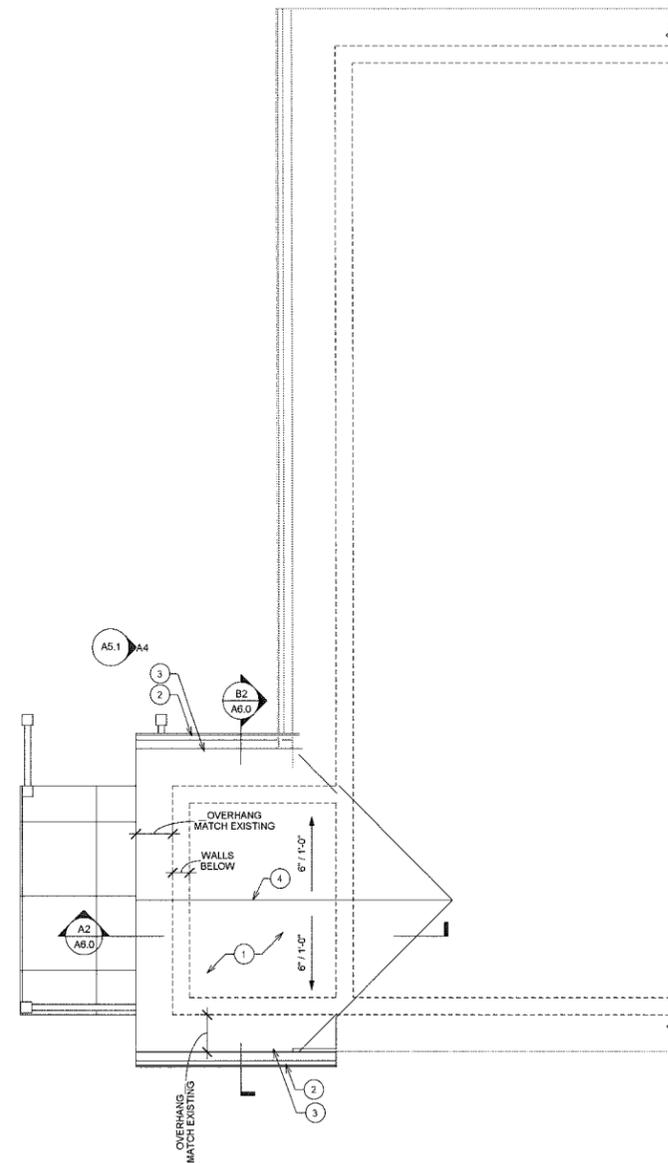
1

2

3

4

A5.0  
B2



A4 FLOOR PLAN - ROOF  
1/2" = 1'-0"

A2  
A5.0

### KEYED NOTES

- 1 NEW 30 YEAR SHINGLES & UNDERLAYMENT
- 2 PROVIDE CONTINUOUS ALUMINUM GUTTER & RAIN LEADERS
- 3 PROVIDE CONTINUOUS DRIP EDGE & ICE & WATER SHIELD TYP
- 4 PROVIDE CONTINUOUS RIDGE VENT

### PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- DIMENSION TO THE FACE OF FRAMING OR MASONRY AT NEW CONSTRUCTION, TYP. DIMENSION TO THE FACE OF FINISH AT EXISTING CONSTRUCTION
- DIMENSION TO THE FACE OF FINISH
- COLUMN LOCATION
- CARBON MONOXIDE DETECTOR - HARDWIRED AND INTERCONNECTED
- SMOKE DETECTOR - HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR - HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR 60 MIN W/ CLOSER

### GENERAL NOTES

- 1. VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.
- 2. ALL INTERIOR WALLS 2X4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE B4/A0.0
- 3. ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
- 4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
- 5. PROVIDE HARDWIRED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
- 6. PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
- 7. PATCH AND REPAIR EXISTING WALLS LOCATED IN UNALTERED AREAS AFFECTED BY ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT.
- 8. PATCH, PAINT AND REFINISH ALL EXISTING WALLS, FLOORS, CEILINGS & TRIM THROUGHOUT REPLACE MATERIALS IN KIND WHEN DAMAGED PAST POINT OF REPAIR.
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- 12. PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS
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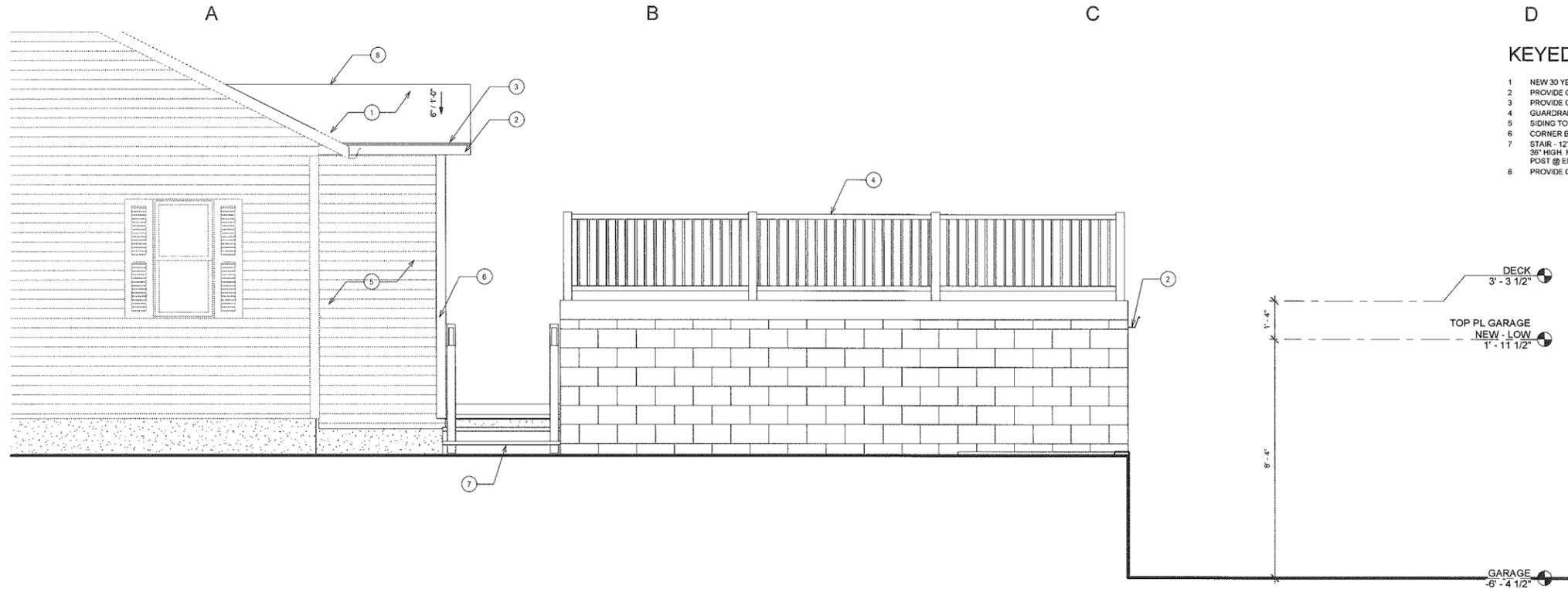
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PLAN - ROOF

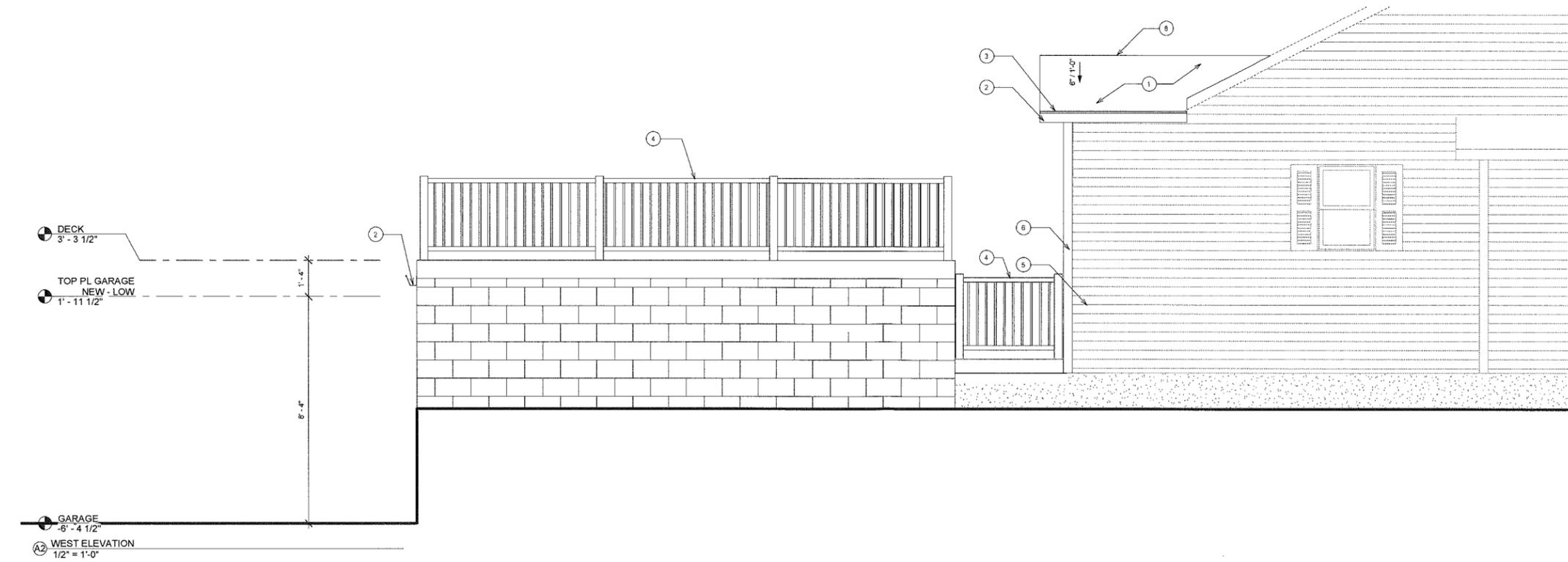
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A4.2



- KEYED NOTES**
- 1 NEW 30 YEAR SHINGLES & UNDERLAYMENT
  - 2 PROVIDE CONTINUOUS ALUMINUM GUTTER & RAIN LEADERS
  - 3 PROVIDE CONTINUOUS DRIP EDGE & ICE & WATER SHIELD TYP
  - 4 GUARDRAIL AT 36" PER DETAILS A1/A7.0, A2/A7.0 AND A3/A7.0
  - 5 SIDING TO MATCH EXISTING
  - 6 CORNER BOARD TO MATCH EXISTING
  - 7 STAIR - 12" TREAD, MAX 6.25" RISER, GUARDRAIL BOTH SIDES @ 36" HIGH HANDRAIL ONE SIDE @ 36" ABOVE NOSING, RETURN TO POST @ ENDS
  - 8 PROVIDE CONTINUOUS RIDGE VENT

ⓑ EAST ELEVATION  
1/2" = 1'-0"



Ⓐ WEST ELEVATION  
1/2" = 1'-0"

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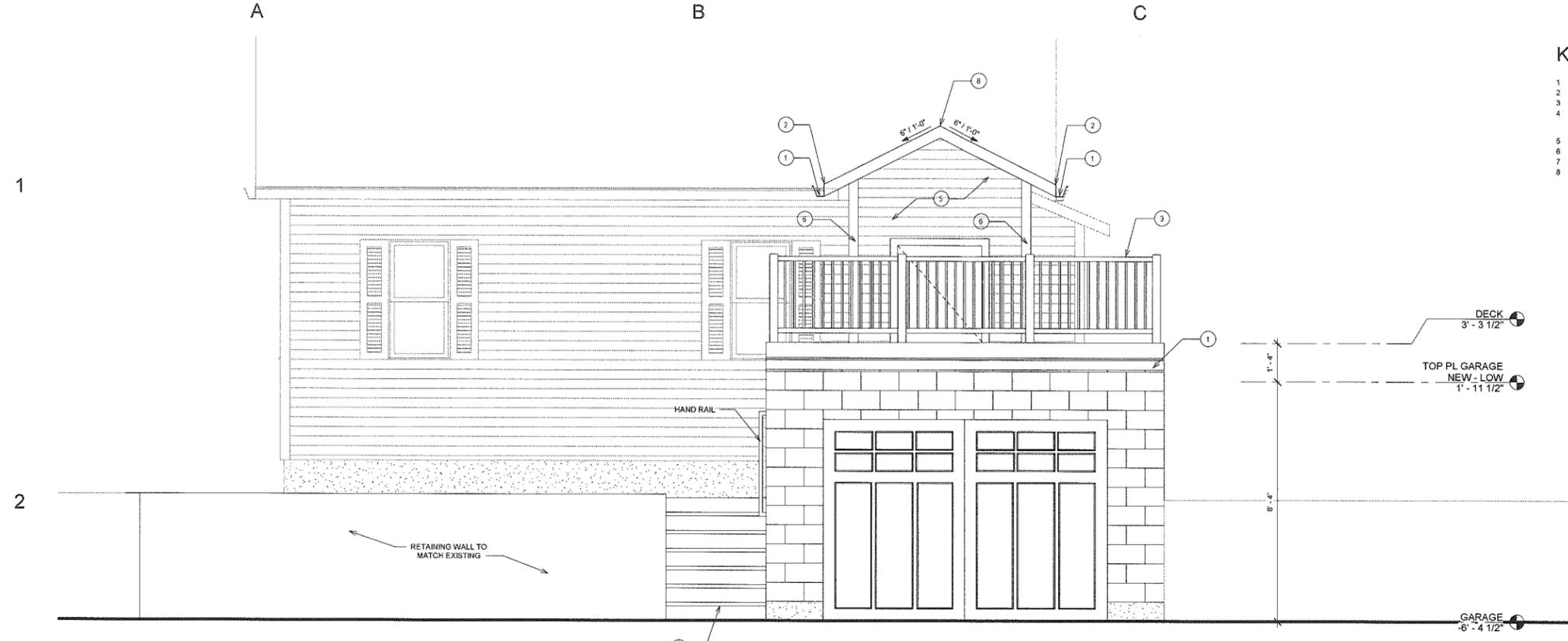
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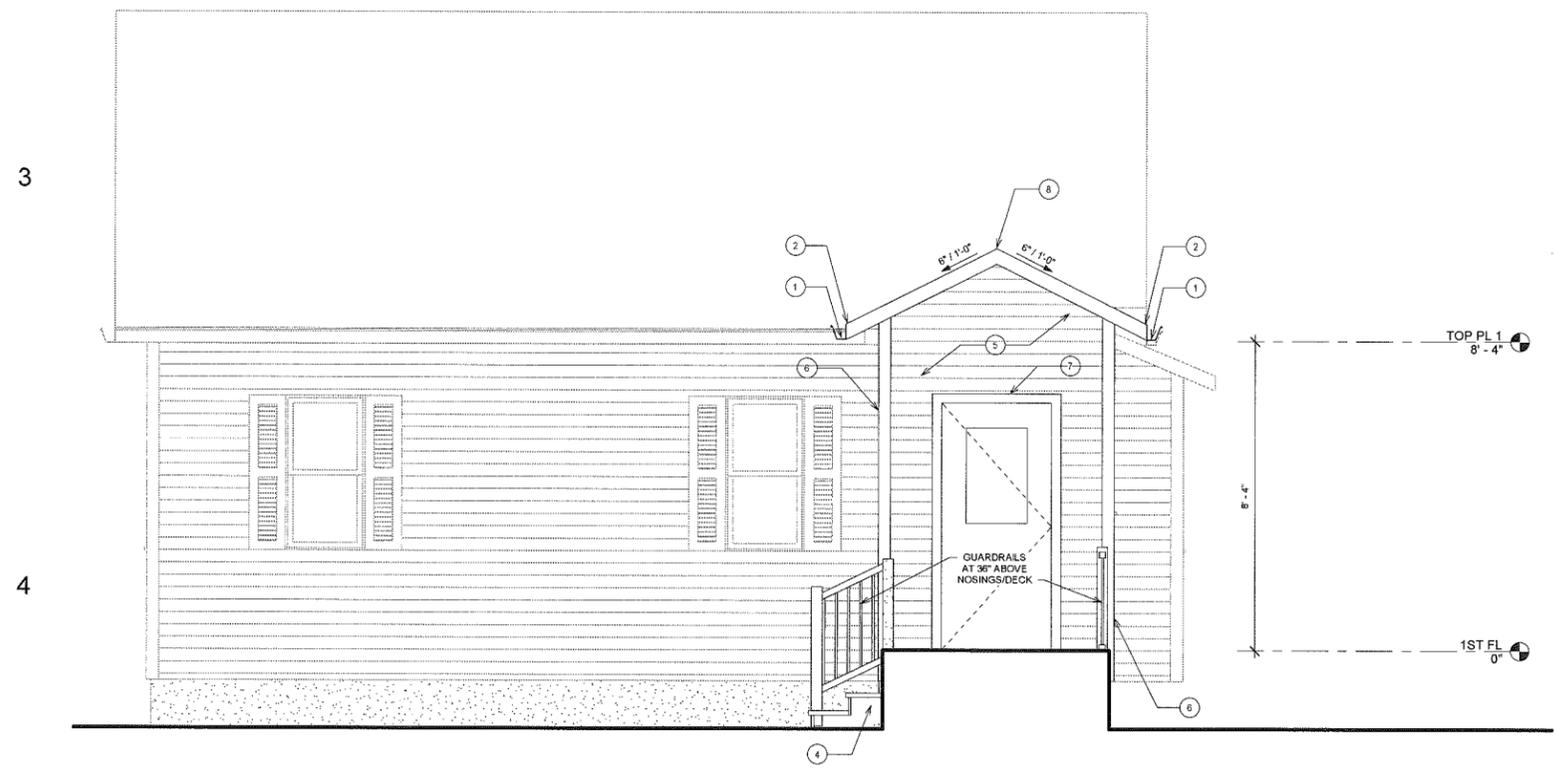
ELEVATIONS

NOT FOR  
CONSTRUCTION  
ZONING REVIEW  
ONLY

2023-08-09  
 A5.0



A2 NORTH ELEVATION  
1/2" = 1'-0"



A4 NORTH ELEVATION 2  
1/2" = 1'-0"

D  
KEYED NOTES

- 1 PROVIDE CONTINUOUS ALUMINUM GUTTER & RAIN LEADERS
- 2 PROVIDE CONTINUOUS DRIP EDGE & ICE & WATER SHIELD TYP
- 3 GUARDRAIL AT 36" PER DETAILS A1/A7.0, A2/A7.0 AND A3/A7.0
- 4 STAIR - 12" TREAD, MAX 8.25" RISER, GUARDRAIL BOTH SIDES @ 36" HIGH HANDRAIL ONE SIDE @ 36" ABOVE NOSING, RETURN TO POST @ ENDS
- 5 SIDING TO MATCH EXISTING
- 6 CORNER BOARD TO MATCH EXISTING
- 7 TRIM TO MATCH EXISTING
- 8 PROVIDE CONTINUOUS RIDGE VENT

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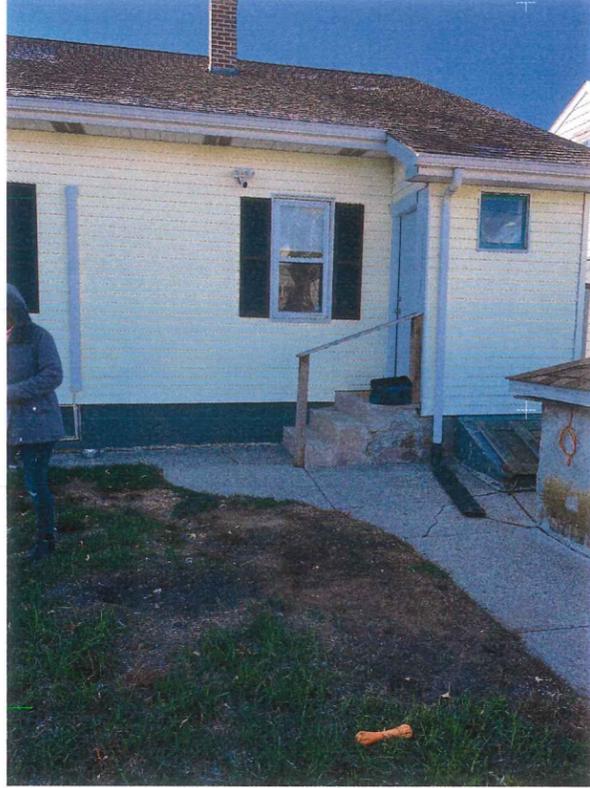
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ELEVATIONS

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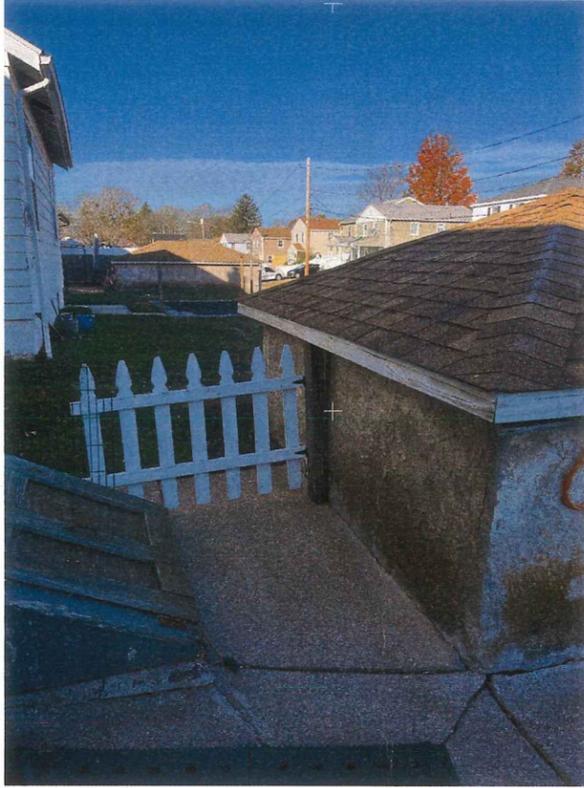
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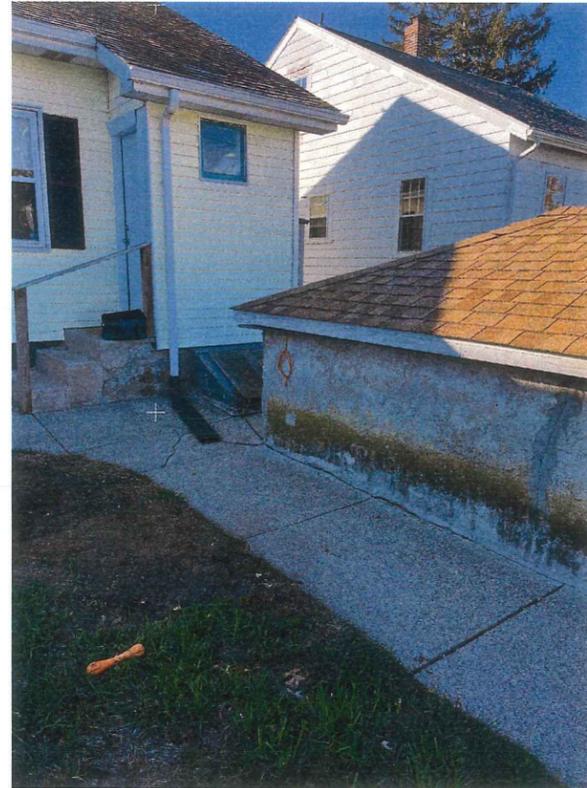
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2

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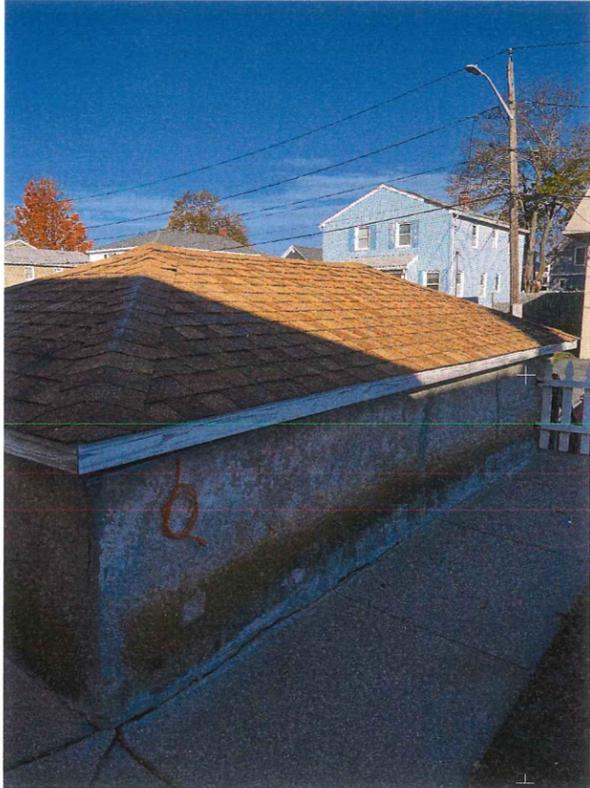


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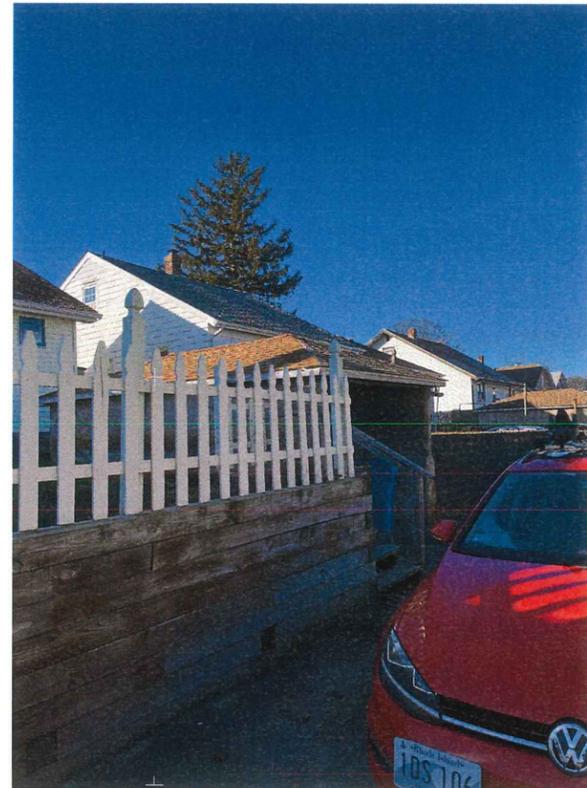
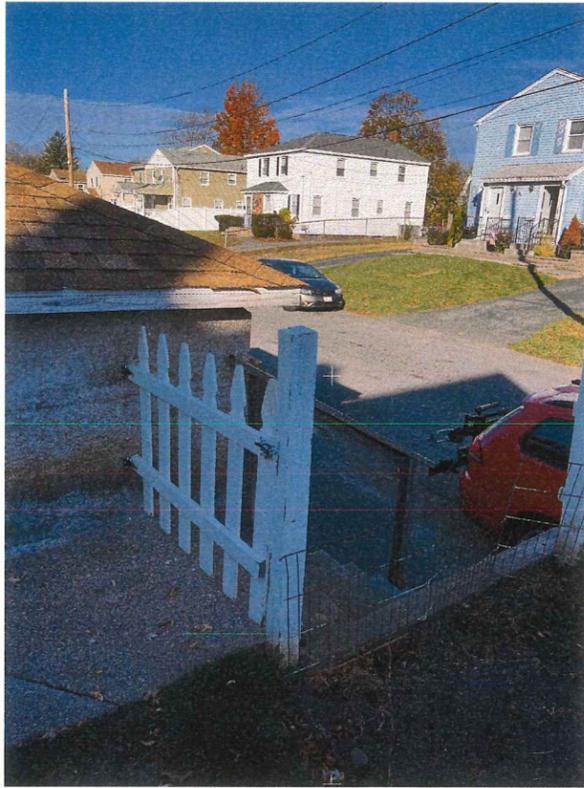


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3



4



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PHOTOS

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